

ANJOS 74 RESIDENCE

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Lisbon

As a coveted, thriving city in the heart of Europe, Lisbon offers a high quality of life and excellent living standards. In recent years, there has been an upsurge of people renting and buying properties in the capital city, charmed by the city's historic and noble residential areas.

Anjos, an evolving neighborhood



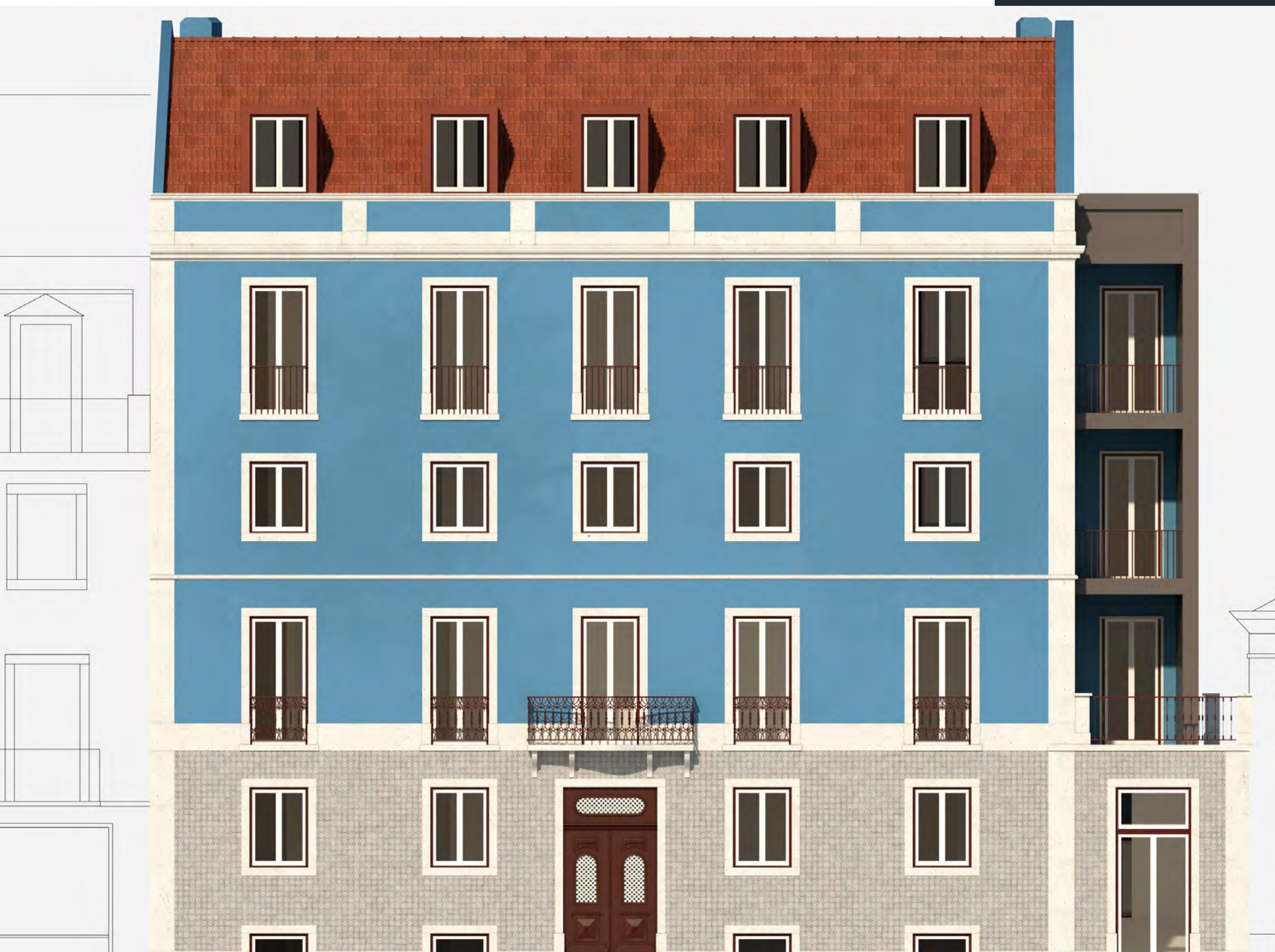
Sharing the same name as the street, Rua dos Anjos, the Anjos 74 building is located in the charming quarter of Anjos, in the district of Arroios. The area is becoming one of the most sought-after neighborhoods today, with amazing cafes and restaurants popping up left and right. While it is considered an old Lisbon district, many of the buildings have been renovated without sacrificing their unique characteristics.

The neighborhood offers a growing cosmopolitan lifestyle with thriving trade and versatile cultural activities and multicultural projects. It has even been branded as the 'world's coolest neighborhood' by Time Out Magazine and a 'must-see neighborhood of Lisbon' by the New York Times.



History shining through

The Anjos district has immense historical importance. It is here that the first expansion of the city took place. As part of the first avenue in Lisbon, Almirante Reis, the area serves as an inspiration for those who wish to live in a unique location, once considered the noblest avenue in Lisbon. Many properties located in Anjos embody their national heritage and some are even classified as national heritage, making rehabilitating these buildings an enjoyable and creative experience.



The Project

Whilst maintaining the original charm and architectural heritage, each unit is renovated with care, in which the space is transformed with modern, high-quality features, without compromising on the property's uniqueness.



An ambitious project

Anjos 74 is managed by a team of architects and engineers with years of experience in rehabilitating old properties. The team bring aesthetic and technical solutions together, so that every property is rehabilitated with quality, aesthetics, and safety in mind.



Units

The Anjos 74 building offers a set of 12 apartments ranging from 1 to 3 bedroom units, ideal for enjoying the urban lifestyle. Units range from 47 m² to 133 m² and are perfect for families and individuals alike. One of the building's strongest assets is that each unit contains lots of natural light, with some offering balconies as well. The building has a space for common use with secure bicycle parking and a common area for socializing.



The apartment units themselves are designed using contemporary concepts, which serves to showcase the CHP architects' chic style. The result is a timeless masterpiece, where the spaces are modern, glamorous and stylish. Quality and aesthetics meet a nuanced technical design, with natural stone and oak wood adorning each unit. Attention to detail is key and the Anjos 74 building is no exception. From the beautiful plaster friezes carved into cornices on the ceilings, to handcrafted mosaic tiles donning the walls, each apartment unit is designed with care and detail, resulting in an exceptional experience for occupants.

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All rooms come with built-in closets and some master suites have fully equipped ensuite bathrooms. Each room comes with lots of storage space, and the kitchens are fully equipped with Bosch appliances and an independent space for a laundry machine. All appliances on offer are energy efficient and the rooms are sound-proof.

Additional facilities include thermal and acoustic comfort improvement systems, air conditioning, wall boilers, radiators, and solid windows with PVC frames and wooden interior shutters.

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Polished Finishes

While each apartment unit is modern and designed for ultimate comfort, the original architecture of the buildings can be found in the smallest of details — from its mosaic tiles, old stonework, to its original sturdy wooden doors and elegant entrance hall. As contemporary in character the interior design is, the unique characteristics of the building co-exist, resulting in unique units with spirit.

List of features & amenities

COMMON AREAS

Hallway:

- Original door restored in bordeaux colored painted wood with metallic elements painted in white Flooring and wainscoting in natural Lioz stone
- Refurbished wood elements painted in a bordeaux color
- Metal mailboxes painted in a half glossy bordeaux color
- Cabinet for metal counters painted in a half glossy bordeaux color Video porter
- Technical area for waste containers
- LED lighting with saving sensors
- Fire Alarm Central

Stairways:

- First flight of stairs and an elevator with an accessible stairway in natural Lioz stone Varnished oak wood flights of stairs
- Baseboards and other wood elements painted in bordeaux Elevator
- Restored original iron guards painted in a bordeaux color Fire detection sensors and fire alarm center
- LED lighting with saving sensors

Common use space:

- Area for meetings/uses of interest in the condominium
- Bicycle Area
- Sanitary facilities
- Condominium storage area

APARTAMENTS

Living Room:

- Oak flooring with satin varnish, light grey skirting board
- Walls painted in white with appliqués placed 1,80m high
- Roofs with white painted plaster friezes
- Doors and shutters lacquered in half gloss light gray
- Cabinets lacquered in half gloss light gray

Bedrooms:

- Oak flooring with satin varnish, light grey skirting board
- Walls painted in white with appliqués placed 1,80m high
- Roofs with white painted plaster friezes
- Doors and shutters lacquered in a half gloss light gray color
- Cabinet/wardrobe with a walnut wood satin varnish finish

Kitchen:

- Hydraulic mosaic floor and skirting boards
- Cabinets lacquered in a half glossy light gray color with negative vertical handles
- Countertops in polished black basalt natural stone
- Wheel covers in natural Verde Viana marble stone
- Fully equipped with Bosch brand appliances
- Tap chrome finish Bruma brand
- Independent laundry area with washer and dryer, storage and vat for domestic use Walls and ceilings painted in white with embedded spotlights

I.S. Master suite:

- Natural White Ibiza marble stone flooring
- Walls in natural Blanco Ibiza marble stone and painted in a white natural Verde Viana marble stone color
- Bench and sinks in natural Verde Viana marble stone, with a walnut wood cabinet satin varnish finish
- Spout taps with chrome finish from Bruma brand
- Shower tray in natural Blanco Ibiza marble stone with a tempered glass protector
- Mirror with LED backlighting
- Heated floor and electric radiator
- White painted ceilings with inlaid spotlights

GENERAL

- Entrance hall and circulation areas with oak flooring and ceilings with inlaid spotlights
- Water heating systems with heat pumps or wall-mounted boilers
- Air conditioning systems
- Acoustically insulated false ceilings
- PVC windows with double glazed frames
- Electrical equipment of the "Efapel" Series Frame 45 Square/Red Finishings

Map of the fractions per floor

	RIGHT	LEFT
FLOOR -1	T2 Apartment 92.4m ²	T3 Apartment 108m ²
FLOOR 1	T3 Apartment 97.2m ²	T2 Apartment 92.4m ²
FLOOR 2	T2 Apartment 92.4m ²	T3 Apartment 133.8m ²
FLOOR 3 AND 4	T2 Apartment 92.4m ²	T3 Apartment 133.8m ²
FLOOR 5	T1-A Apartment 47.1m ²	T1-B Apartment 54.5m ²

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Location

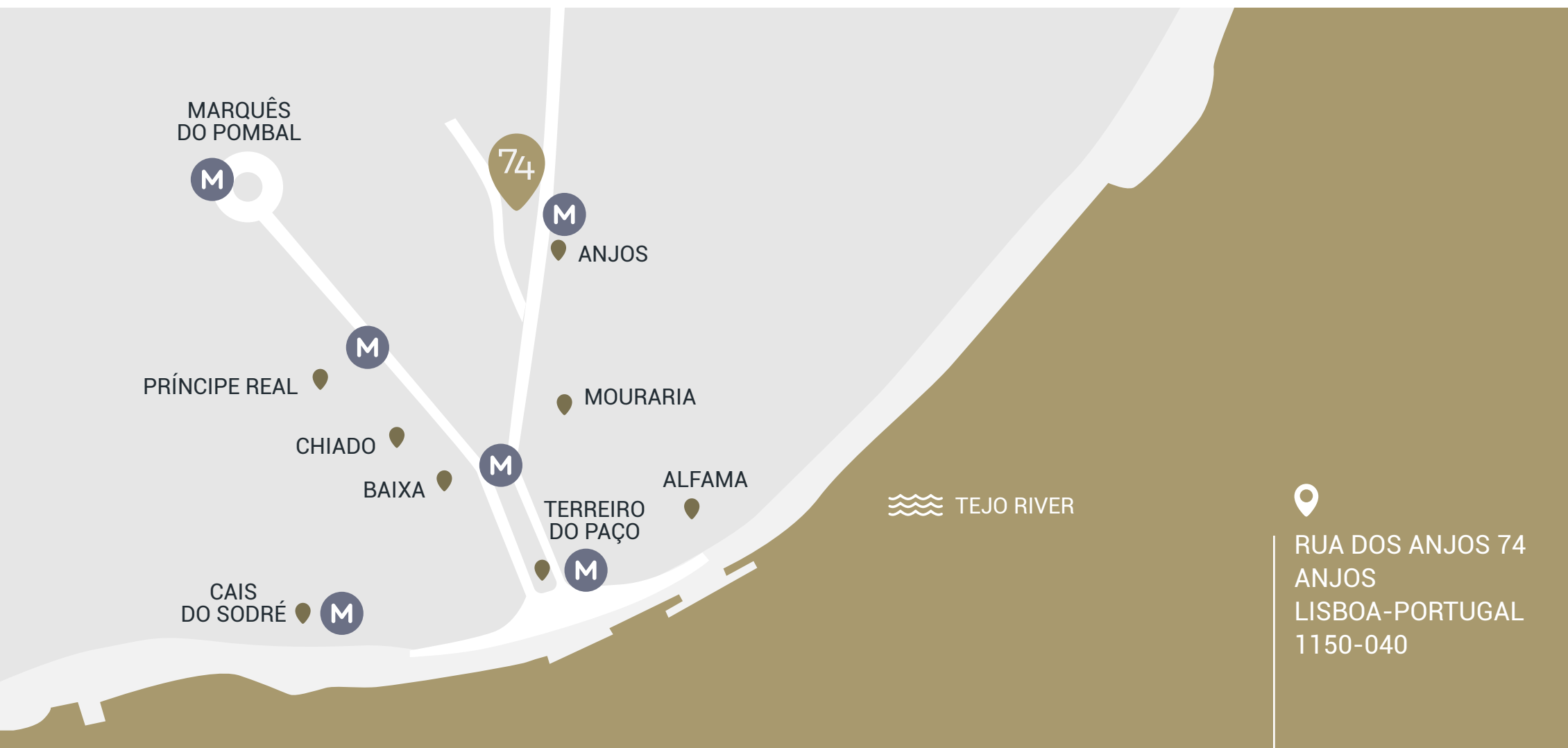
The Anjos neighbourhood is located less than eight km from the Lisbon Airport, and is close to other areas such as Graça and Mouraria. It is also relatively close to Baixa Chiado, and the well known Avenida da Liberdade, where you can enjoy a range of leisure and business activities.

Its location also allows you to enjoy a set of spaces such as the Alameda D. Afonso Henriques Garden, with its historical Fonte Luminosa, the Campo Santana garden and Torel. The neighborhood offers many shops, grocery stores and fresh food markets.

Close to everything

What is exceptional about this location is that although Anjos 74 is in the heart of the city, you also get peace and quiet. You are a short walk away from downtown Lisbon, with excellent transport links to the rest of the city, including a metro stop right at your doorstep.

Location is everything and Anjos certainly doesn't disappoint. Within the area you'll find the following key landmarks



Tejo River: 2.2km



Supermarket: 350m



Airport: 5.1 km



Hospital: 500m



ParK: 2.2km



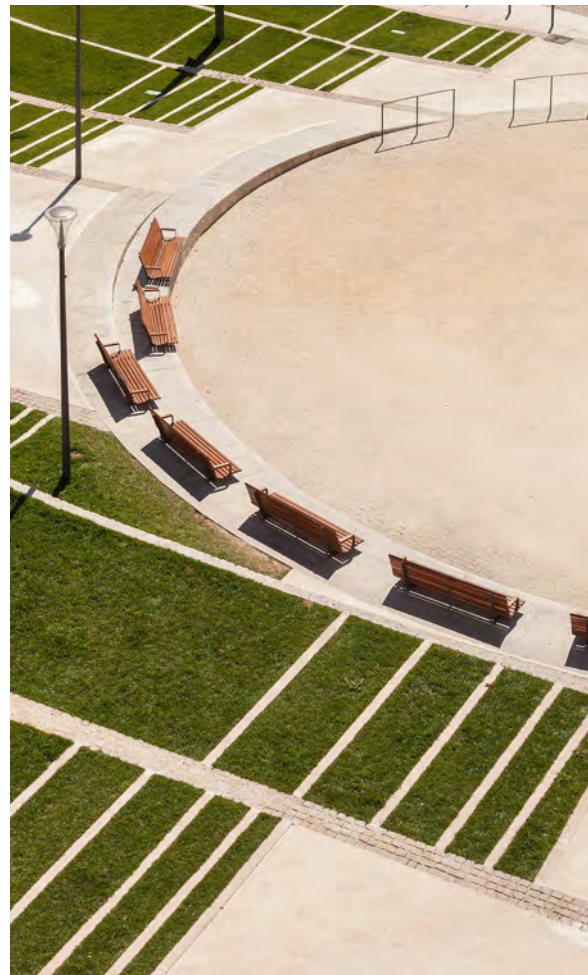
Metro: 270m



University: 1.5km



Príncipe Real Bus: 120m



Architects

CHP ARQUITECTOS LDA.

CONSTRUIR HABITAR PENSAR ARQUITECTOS LDA.

Established in 2003, the CHP Architects company coordinates and develops architecture projects of all shapes and sizes for public and private clients. It covers areas such as rehabilitation and the new construction of residential buildings, facilities, commerce, equipment, urban planning and public spaces, as well as interior architecture and furniture design.

For each project, we guarantee a total involvement from our team and work closely with our technicians to respond in an integrated way to questions related to the project. Whatever we do, we understand that no two individuals are alike and therefore work closely with our clients to determine their unique needs and find innovative solutions to dynamic challenges.

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